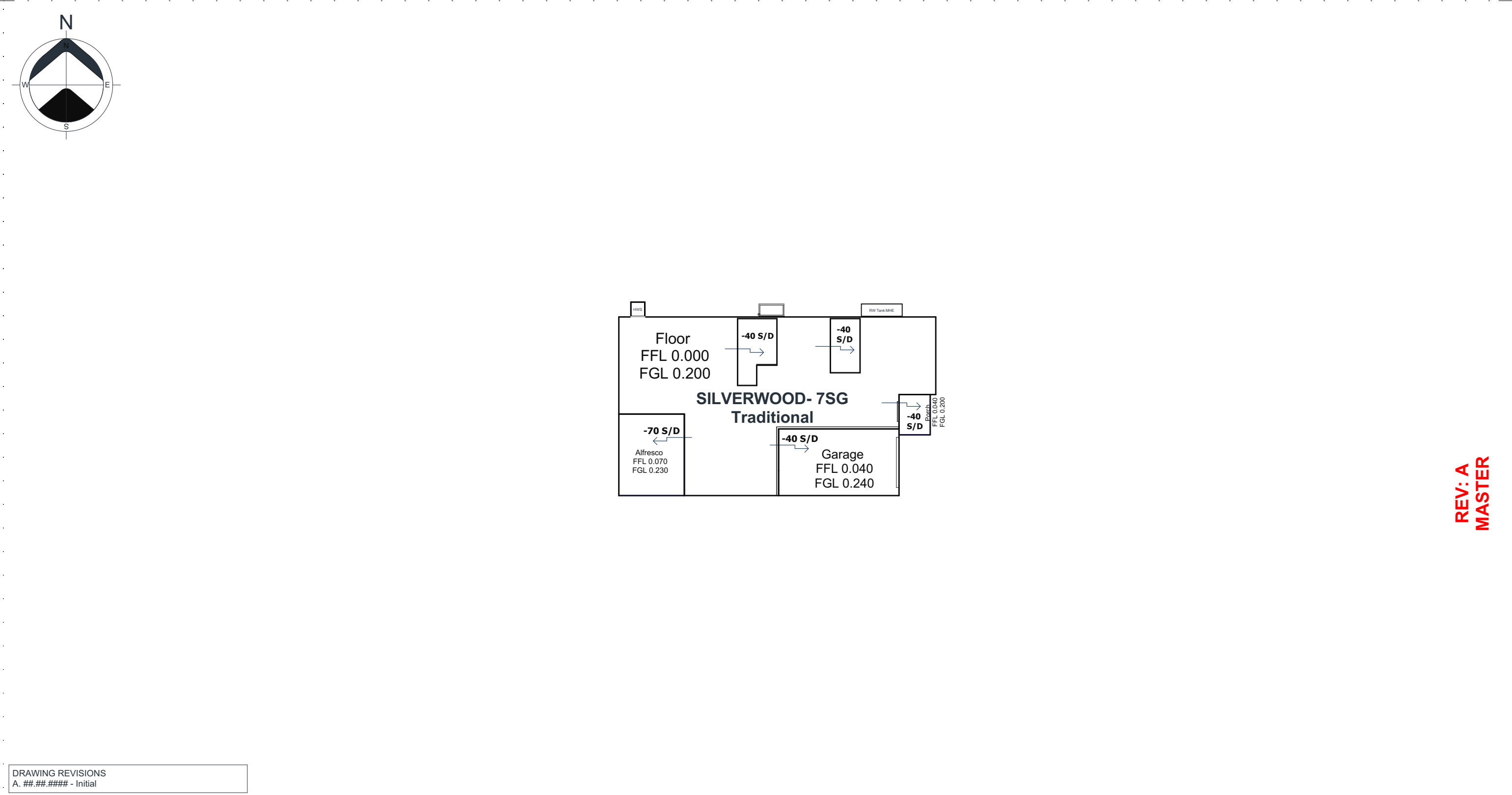


[illegible]

	CC	W/O
WAE		
SEWER		
WATER		
ELECTRICAL		
NBN		
CIVIL ENGINEERS		
GAS		
LINEN		
88B		
BAL		
ACCOUSTICS		
NOTE: N/A DENOTES DOCUMENTATION UNAVAILABLE AT TIME OF PRODUCTION		

Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X	
01.7	Site Analysis	
01.8	Fence & Retaining Layout	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Cut Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Window Hood Details	
01.18	Tile Specification	
01.19	Ensuite - Laundry	
01.20	Bath	
01.21	Kitchen	
01.24	Colour Perspectives	
01.25	Landscape	
01.26	Landscape Details	
01.29	Solar Layout	

REV: A
MASTER





NOTE: Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage.
- Fencing & Retaining.
- Slab Setout.
- Site Analysis.
- Landscape.

GENERAL NOTES:

- Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.
- Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
- Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including Double Hinged Gates To Front Access.

<p>WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960</p>											
 <p>ALLAM Lifestyle COMMUNITIES</p>	 <p>MONTEREY CANDER HAVEN</p>	<p>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</p>	<p>ALL RIGHTS RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.</p>	<p>SILVERWOOD - 7SG <i>Traditional</i></p>	<p>Site Address Allam Lifestyle Communities Lot ## Street Name Kendall (MONTEREY) NSW</p>	<p>SITE INSTRUCTIONS</p>	<p>Site</p>	<p>Last Amended JHA</p>	<p>Scale 1:200</p>		
						<p>GENERAL:</p>	<p>0 01.01.21</p>	<p>Revision/Date/Version</p>	<p>Serial</p>	<p>Job No</p>	<p>Sheet</p>
						<p>HOUSE:</p>	<p>0 01.01.21</p>	<p>A.V22</p>	<p>1SW700O000</p>	<p>12345</p>	<p>01.2</p>
<p>© 2021 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS</p>											
<p>K:\02_MHE\SILVERWOOD\Classical\Silverwood-7 SG Classic.pbx</p>											

General Notes:
*Weather strips/seals to all external hung doors

Specification Notes:
Type Spec level note here

- A/C

Air Con Fan Unit
- R
A

Return Air
- M
H

Man Hole
- ⊙

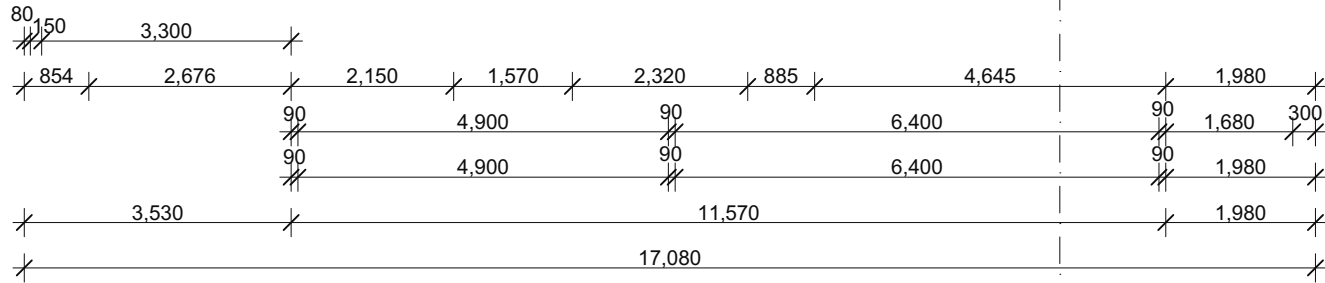
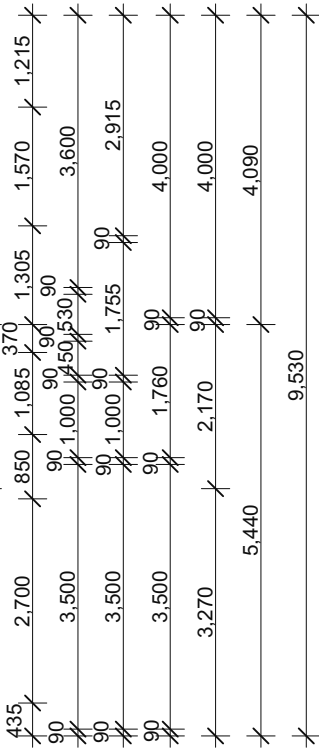
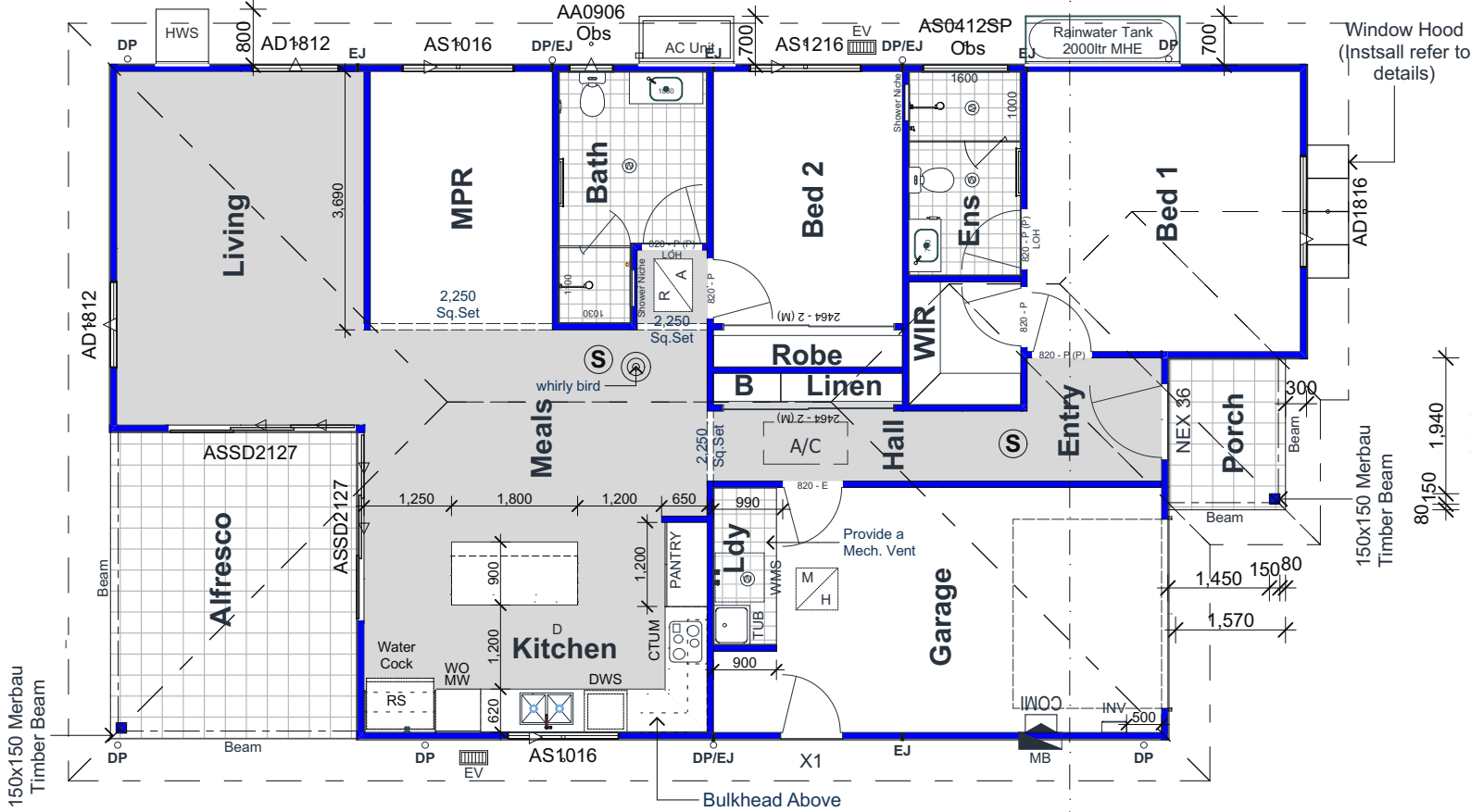
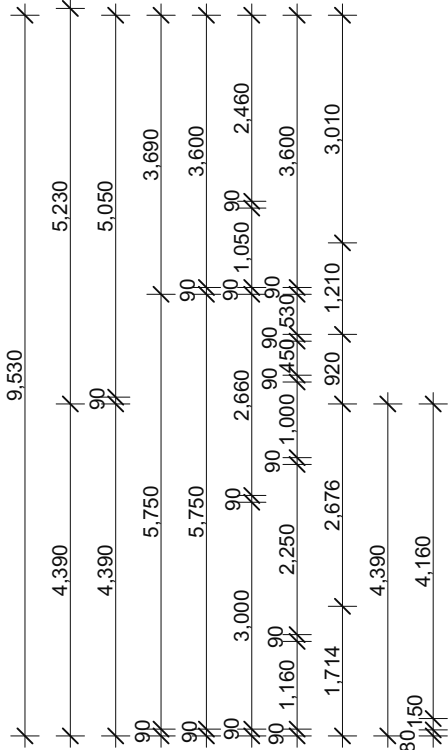
Whirly Bird (300mm Throat Dia)
- EV

Eave Vent (400x200mm)

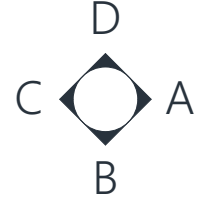
* Internal Door Legend
E = Entrance
P = Passage
(P) = Privacy
W = Wardrobe
LOH = Lift Off Hinge

NOTE:
REFER TO SLAB SETOUT
FOR CONCRETE LAYOUT.

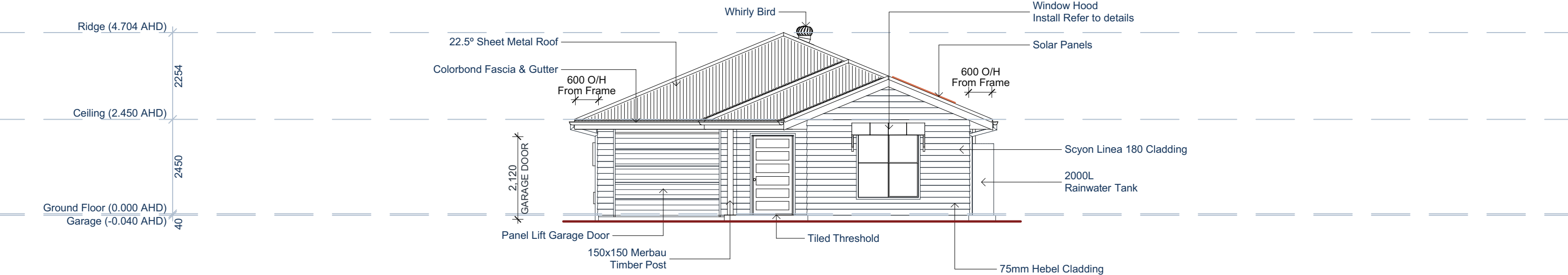
SHADED AREA DENOTES
VINYL FLOORING UNLESS
OTHERWISE SPECIFIED ON
THE JOB SPECIFIC COLOUR
SELECTION SHEET



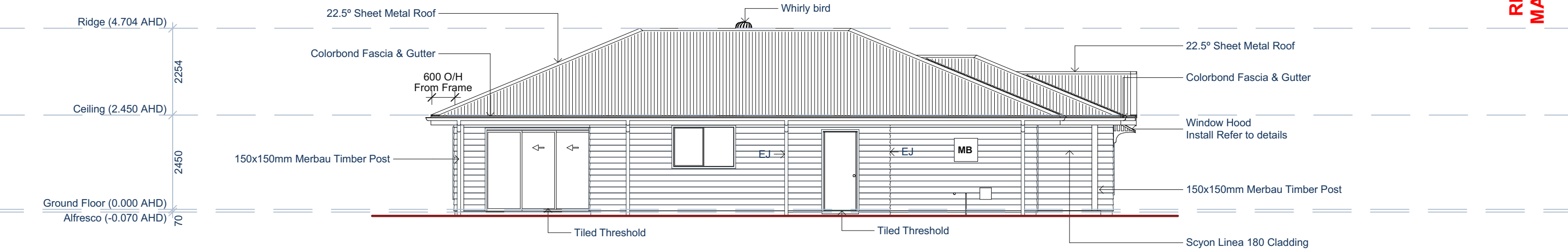
REV: A
MASTER



FLOOR AREAS	
ALFRESCO	15.50
GARAGE	23.30
GROUND	103.63
PORCH	3.65
	146.08 m²



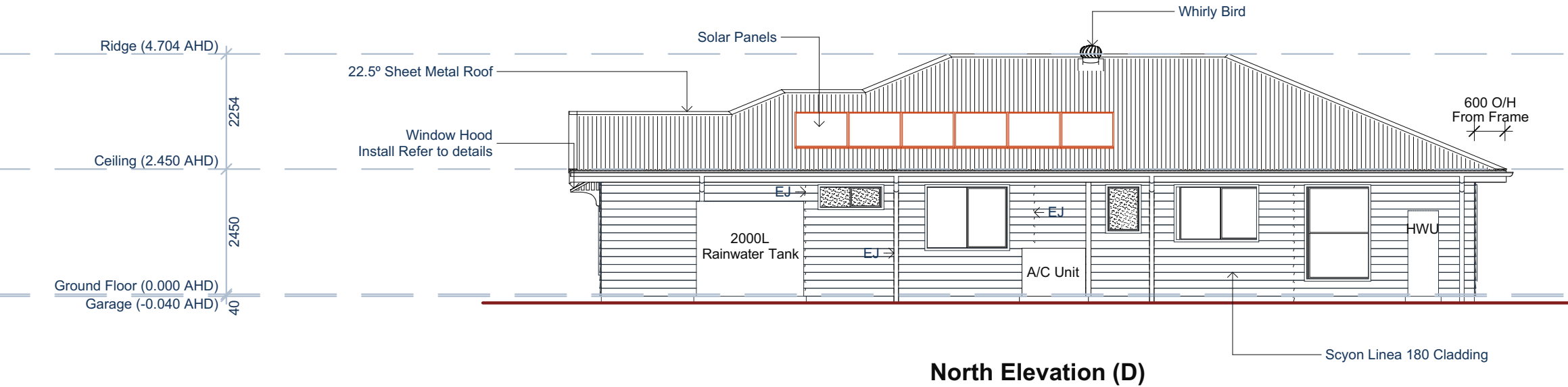
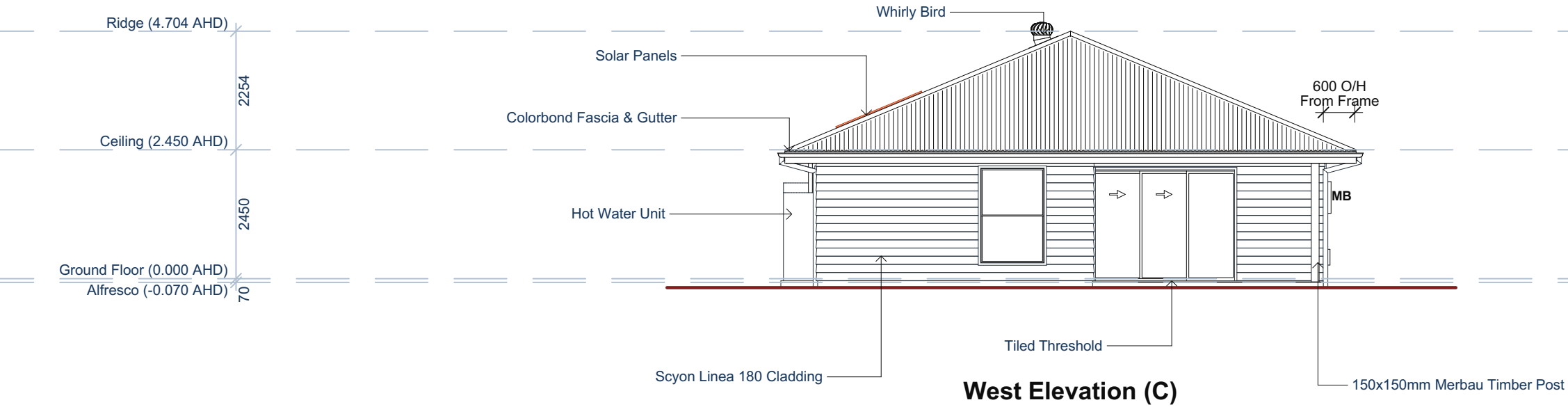
East Elevation (A)



South Elevation (B)

General Notes:
* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
* All verges 200mm unless otherwise noted
* Provide cover strip to entry doors
* Provide cover strip to entry doors
* Refer to floor plans/window schedule for Restricted opening windows (BCA)
Indicates Obscure Glazing (Refer floor plans/window schedule)

Glazing
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).



General Notes:

- * Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
- * Provide cover strip to entry doors
- * Refer to floor plans/window schedule for Restricted opening windows (BCA)

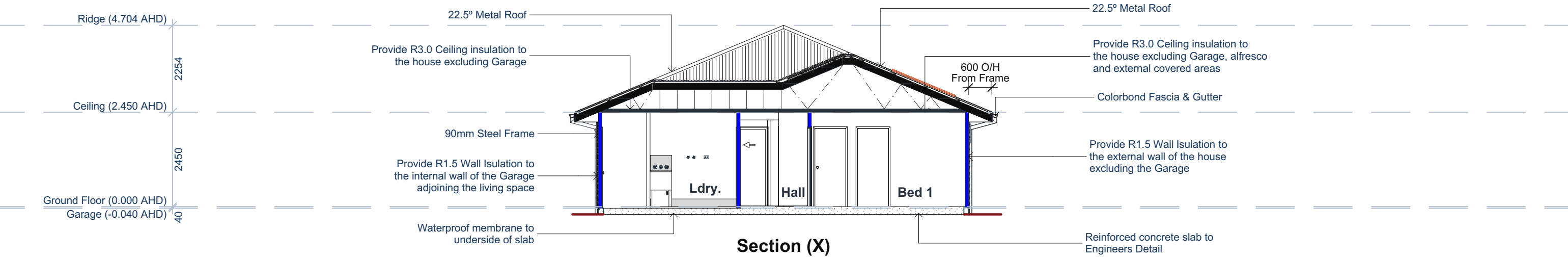
Indicates Obscure Glazing
(Refer floor plans/window schedule)

Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

REV: A
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Note:
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



REV: A
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CONDENSATION MANAGEMENT:

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i), Australian Standard AS4200.1
- Wall wrap to be in accordance with Clause 3.8.7.2 of NCC 2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3

STAIRS, RAMP & LANDINGS:

- Internal & External: Bounded by walls: Compliant with NCC Clause 3.9.1
- Internal & External: Finish of nosings/slip resistance: Compliant with NCC Clause 3.9.1.4

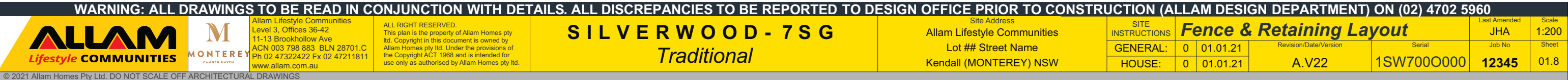
BALLUSTRADES:

- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

ELECTRICAL:

- Smoke Alarms: Installation to NCC Clause 3.7.5

LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	14.40	1.440	3.240	0.720	1.620
Bed 2	9.72	0.972	1.920	0.486	0.960
Kitchen/ Meals	27.361	2.736	11.10	1.368	5.55
Living	19.26	1.926	12.66	0.963	6.33
MPR	9.594	0.959	1.567	0.479	0.705



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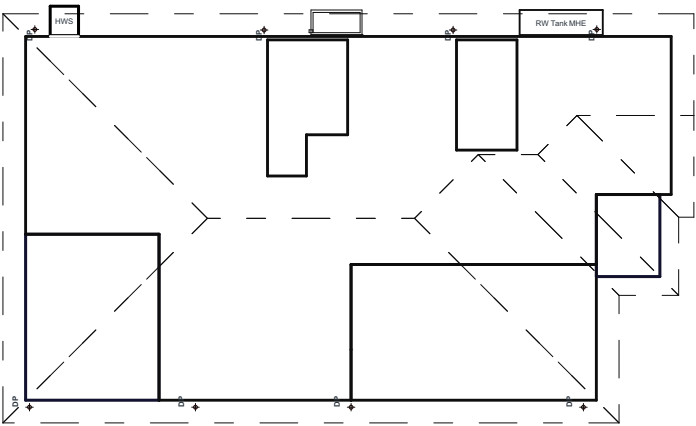
Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
www.allam.com.au

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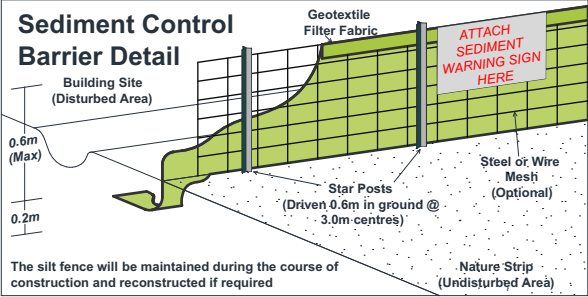
SILVERWOOD - 7 S G
Traditional

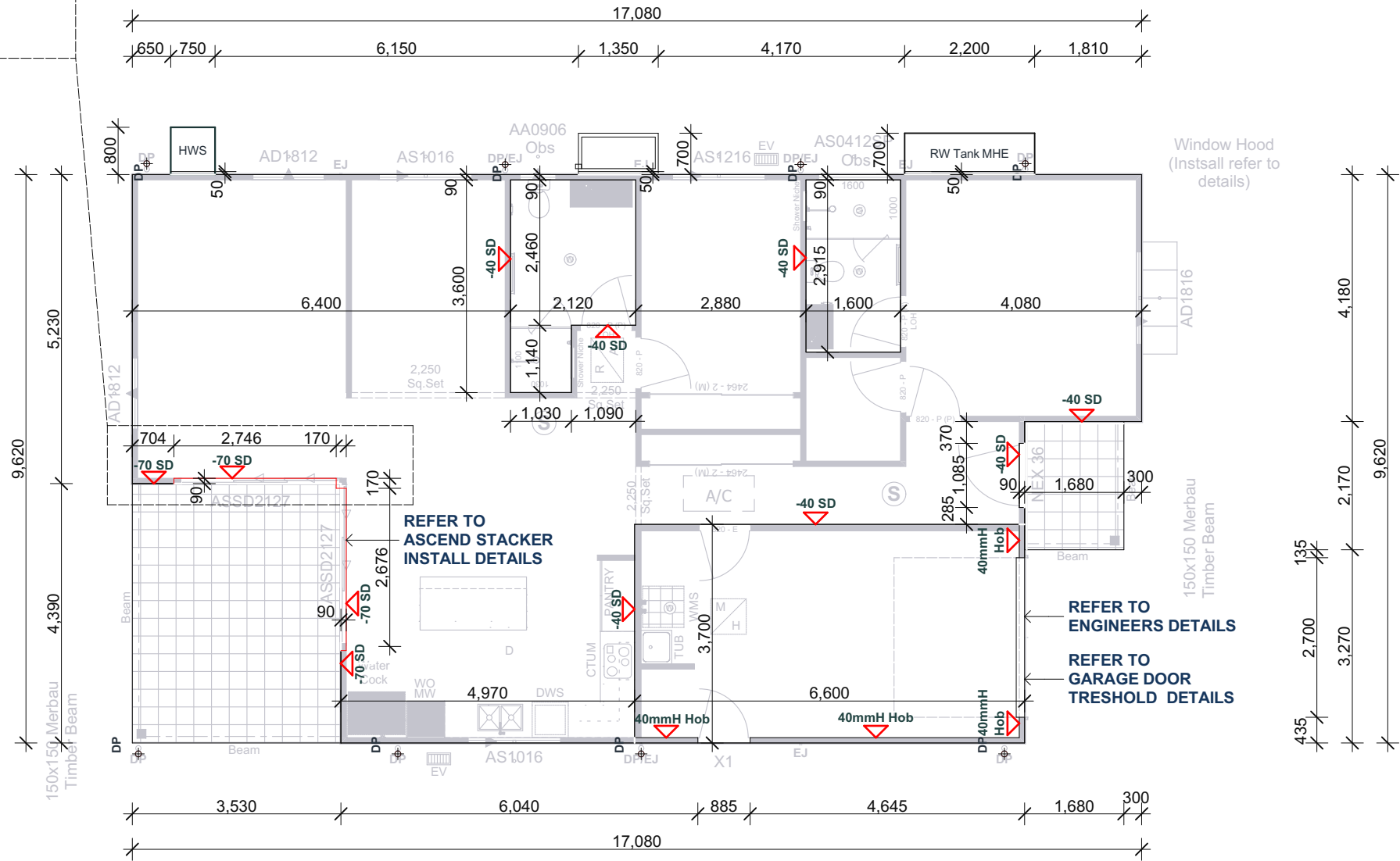
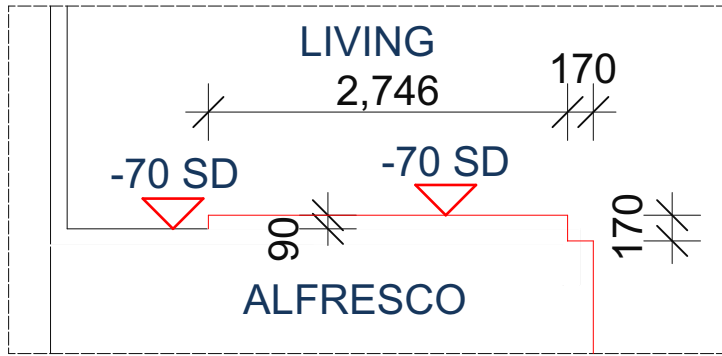
Site Address
Allam Lifestyle Communities
Lot ## Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS		Retaining Wall Details			Last Amended JHA		Scale REFER TO DETAIL	
GENERAL:	0	01.01.21	Revision/Date/Version		Serial		Job No	
HOUSE:	0	01.01.21	A.V22		1SW700O000		12345	
							01.9	



REV: A
MASTER







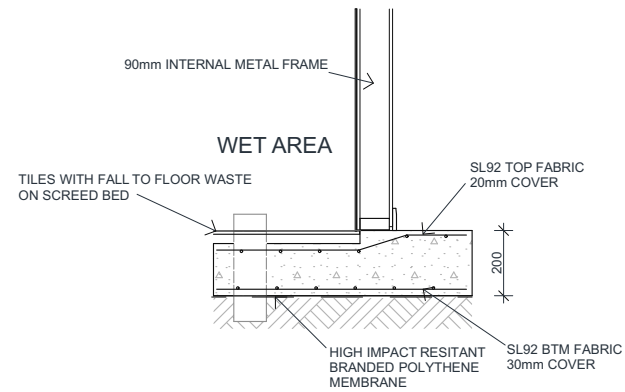
REV: A
MASTER

Termite shields
Shields, barriers or the like must be provided in accordance with AS 3660.1-2000 Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

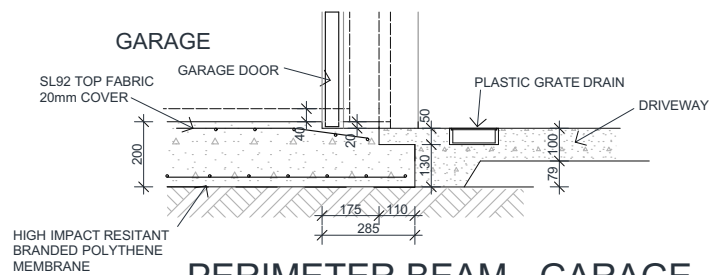
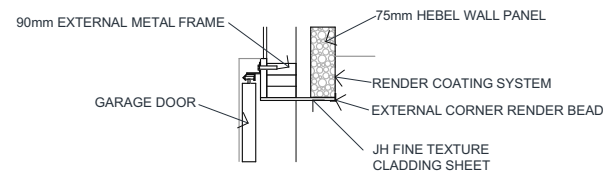
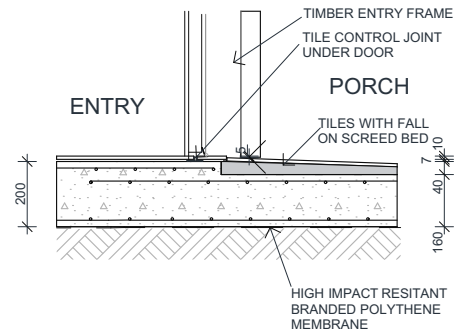
NOTE: All Measurements Are Taken From External Edge Of Slab

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960																	
		Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	SILVERWOOD - 7 S G <i>Traditional</i>		Site Address Allam Lifestyle Communities Lot ## Street Name Kendall (MONTEREY) NSW	SITE INSTRUCTIONS		Slab Setout Ground	Last Amended JHA	Scale 1:100						
							GENERAL:	0 01.01.21			Revision/Date/Version A.V22	Serial 1SW7000O000	Job No 12345	Sheet 01.11			
							HOUSE:	0 01.01.21									
														Revision/Date/Version A.V22		Serial 1SW7000O000	Job No 12345

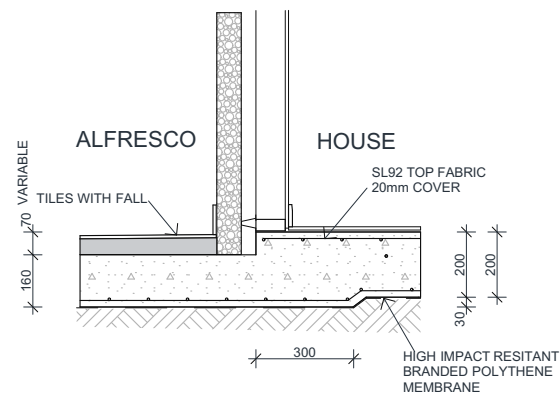
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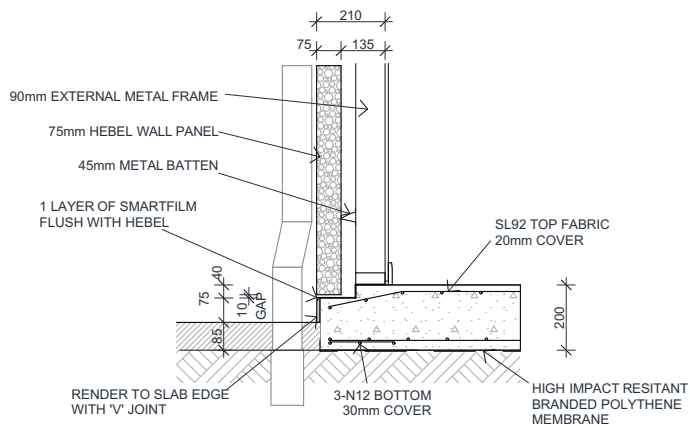
INTERNAL STEP DOWN
THRU WALL



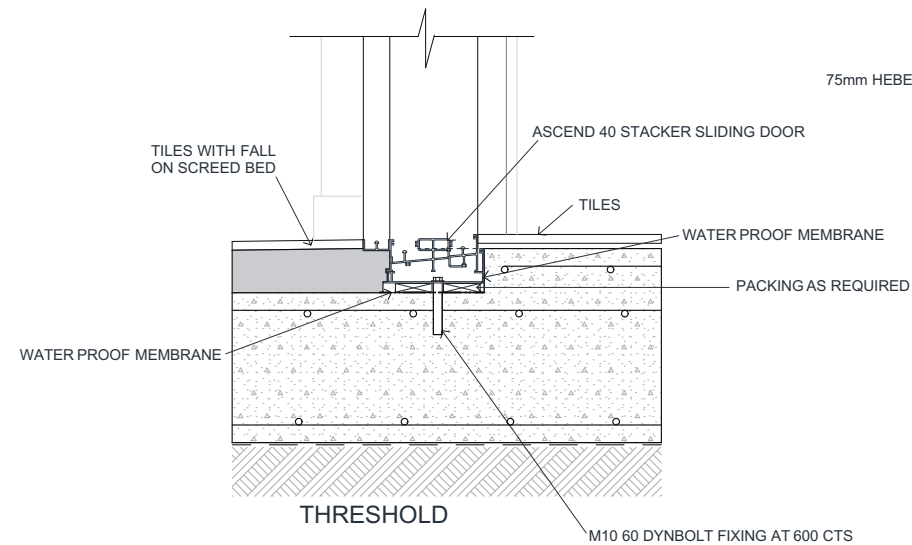
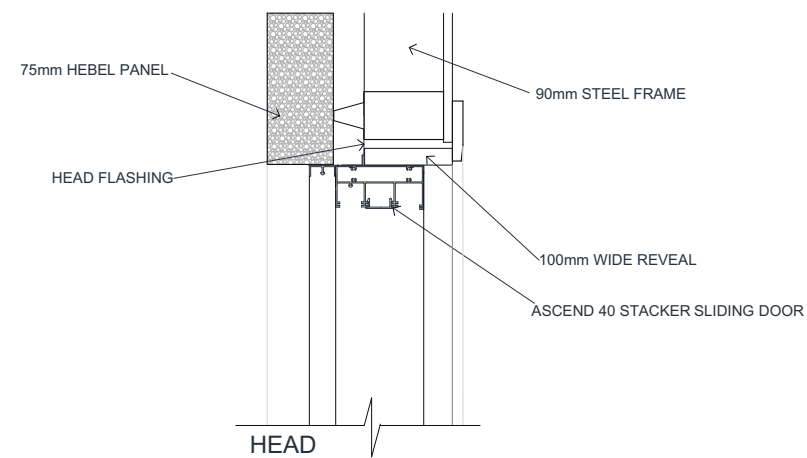
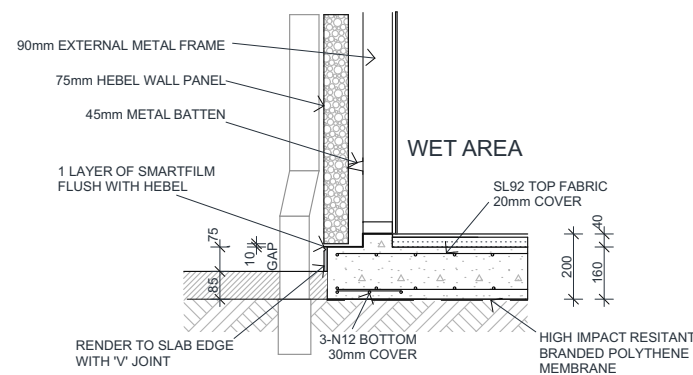
PERIMETER BEAM - GARAGE
HEBEL



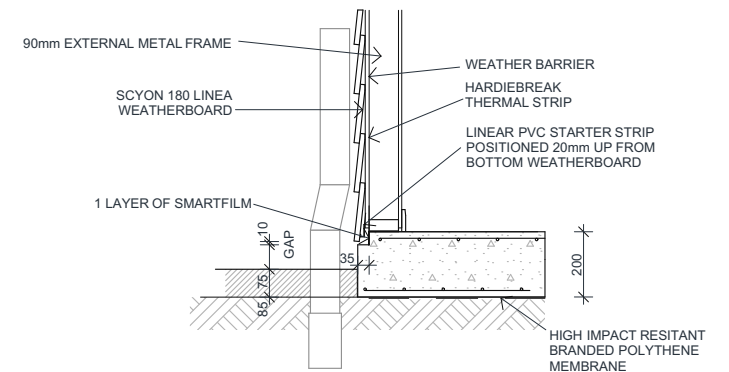
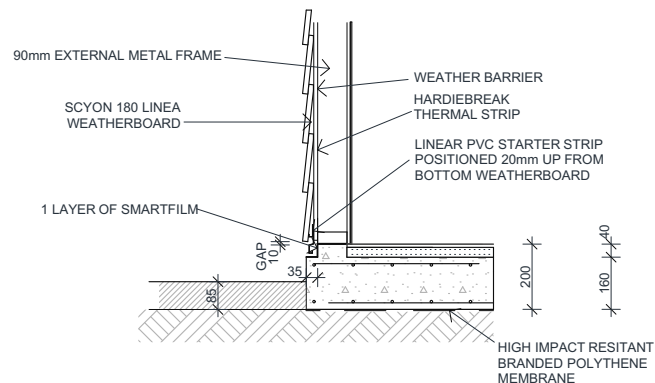
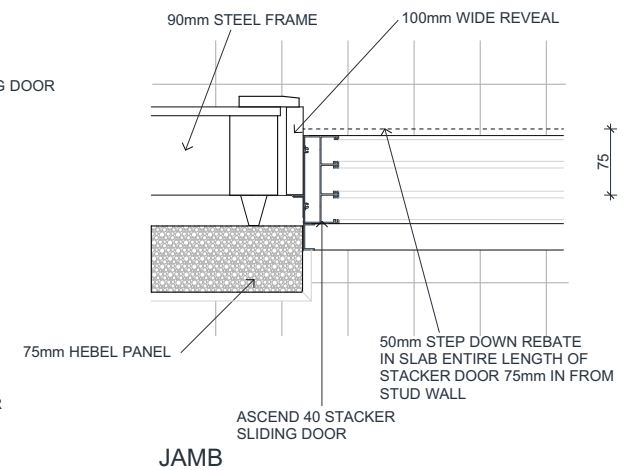
EXTERNAL STEP DOWN
THRU ALFRESCO WALL



PERIMETER BEAM - HOUSE
HEBEL

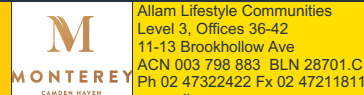


ASCEND STACKER SLIDING DOOR INSTALLATION (HEBEL) NTS



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SILVERWOOD - 7SG
Traditional

Site Address
Allam Lifestyle Communities
Lot ## Street Name
Kendall (MONTEREY) NSW


SITE INSTRUCTIONS
GENERAL: 0 01.01.21
HOUSE: 0 01.01.21


Slab Details

Revision/Date/Version
A.V22


Serial
1SW700O000


Last Amended
JHA
Job No
12345
Scale
REFER TO DETAIL
Sheet
01.12


- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


Internal Wall @ 1900
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Internal COMS
- 


Alarm Key Panel
- 

Alarm Control Box
- 

Single GPO
- 

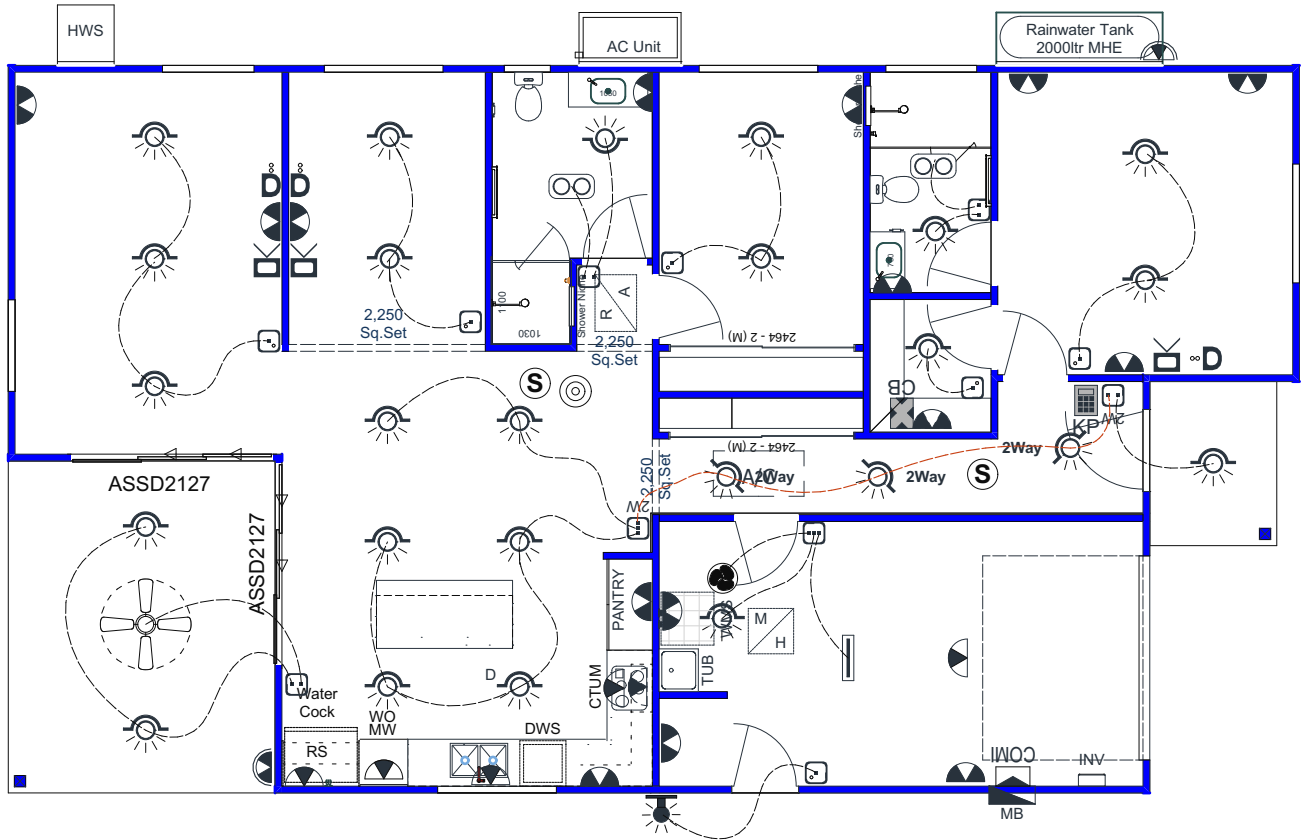
Double GPO
- 

Single Ext GPO
- 

Double Ext GPO
- 

Ceiling Fan

The final location of ceiling penetrations and light fittings are subject to site conditions



Actron Air Standard Unit Specification (Single Phase)

Model: **CRA100S / EVA100S**

Net (rated) Capacity (KW) Cooling: **10.16 KW**

Heating: **10.62 KW**

EER Rated Cooling: **3.30 KW**

COP Rated Heating: **3.59 KW**

General Notes: NCC Approval

1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
5. Double GPO to meter box.

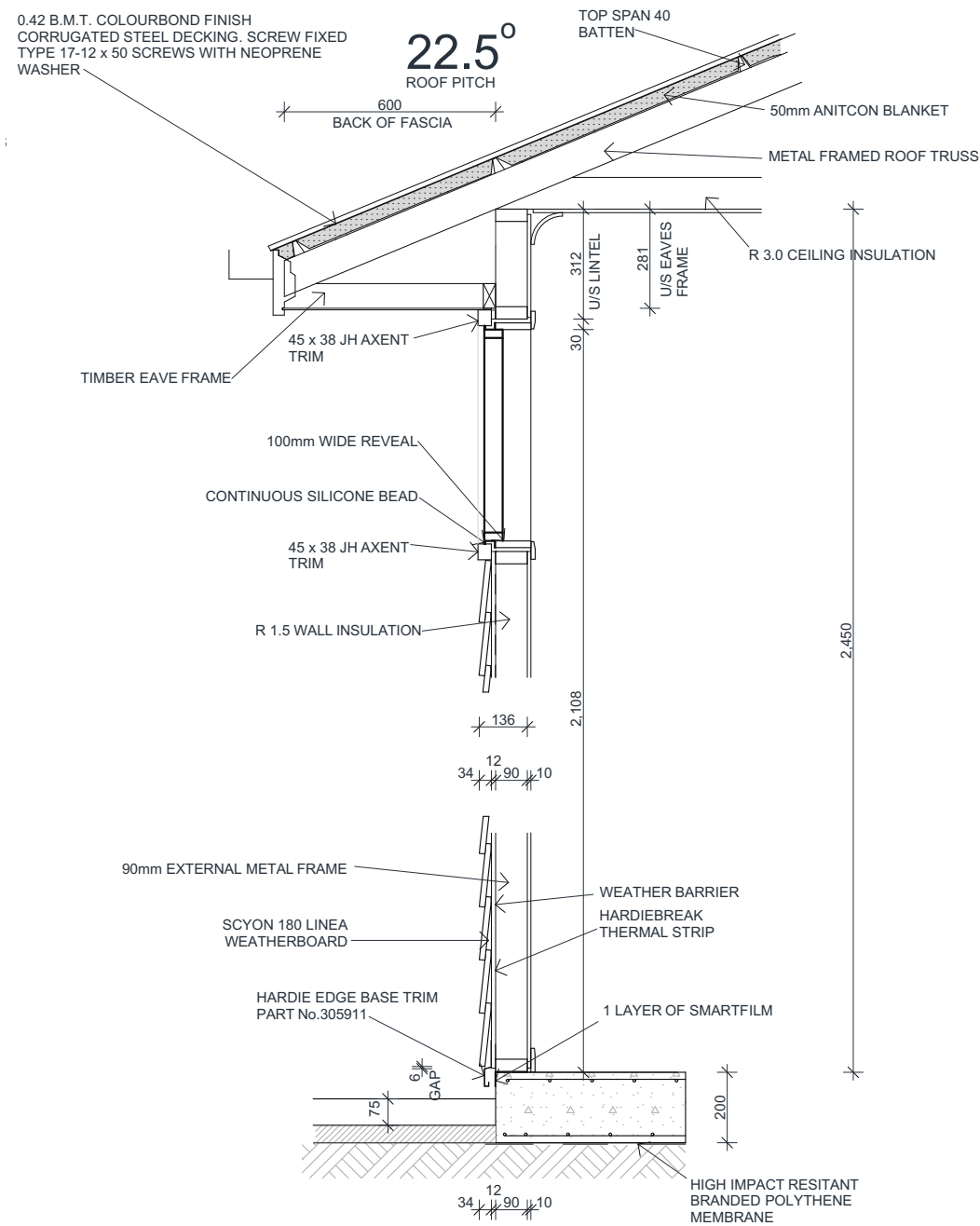
Electrical wiring

The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.

REV: A
MASTER

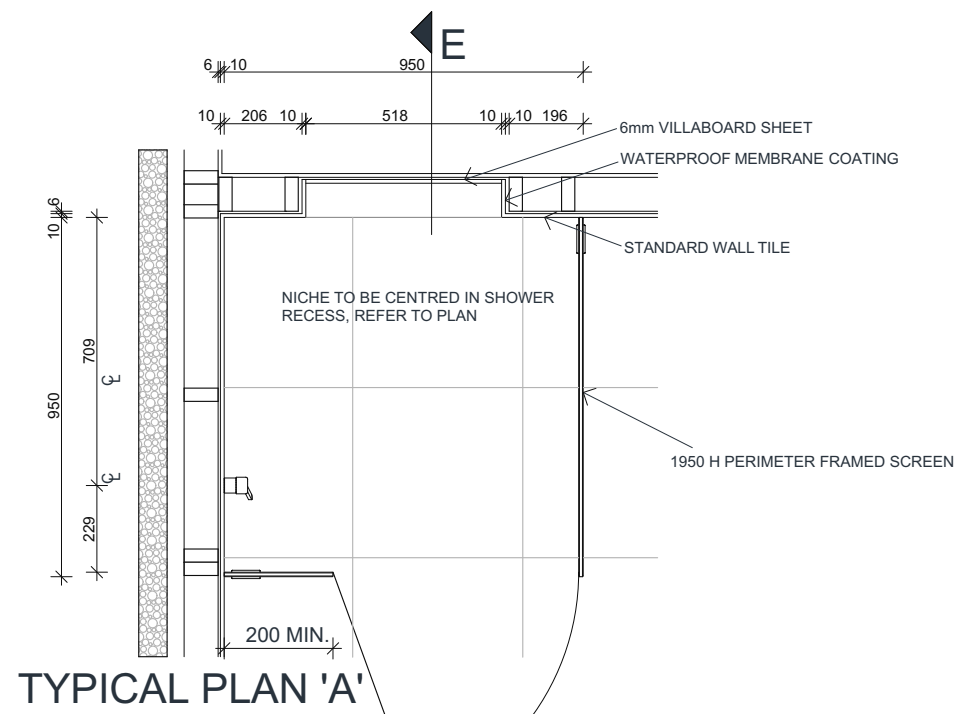
GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
Other	External GPO	1000	

Note :
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.

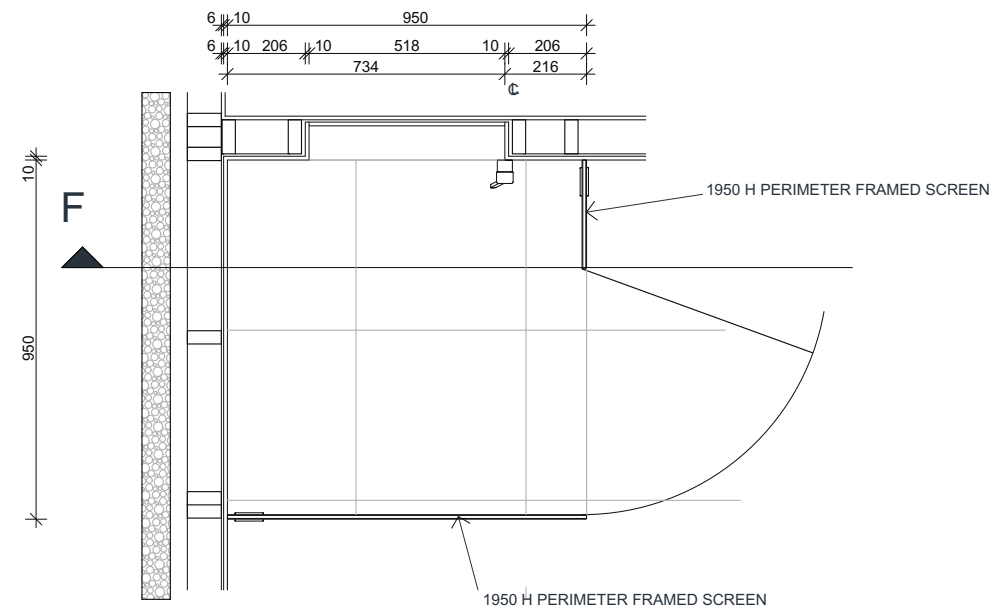


REV: A
MASTER

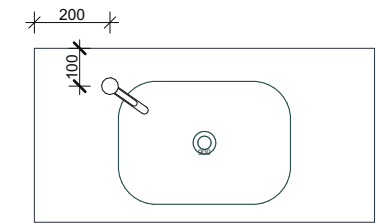
PERIMETER BEAM - HOUSE
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL



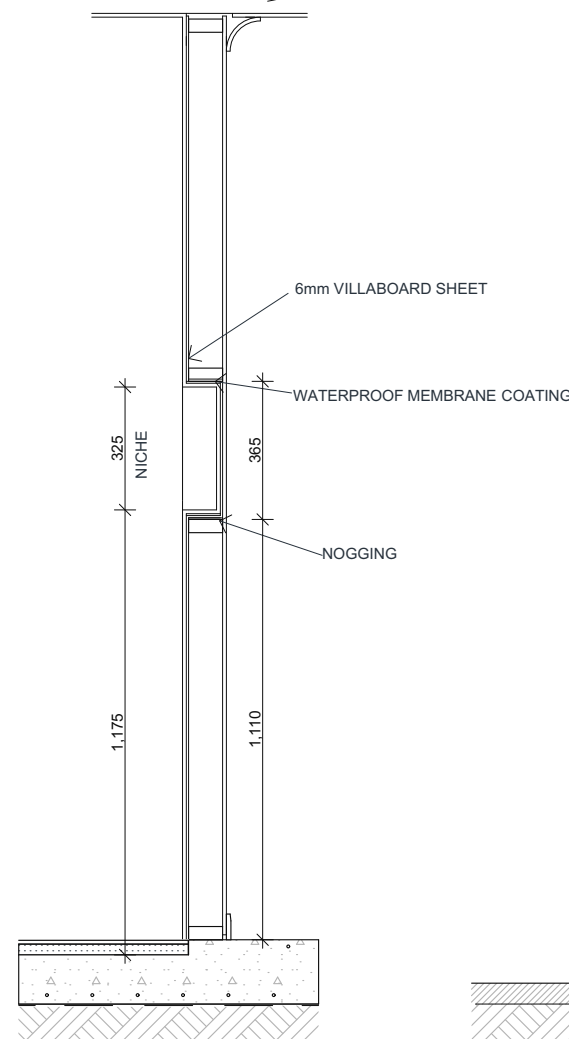
TYPICAL PLAN 'A'



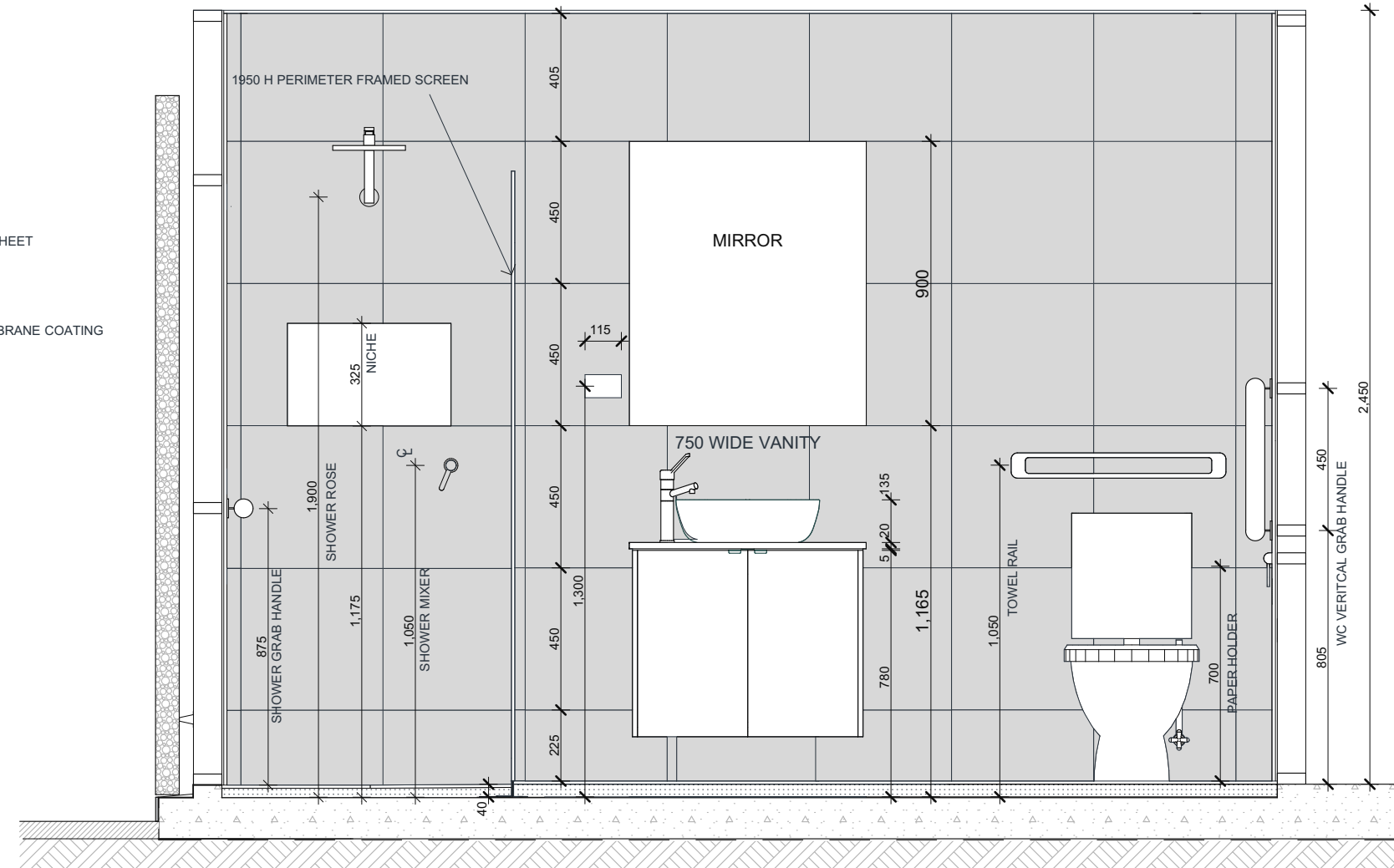
TYPICAL PLAN 'B'
NICHE UNDER SHOWER ROSE



VANITY TOP



SECTION 'E'

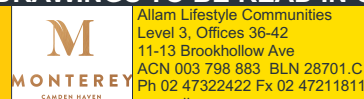


SECTION 'F'
NICHE UNDER SHOWER ROSE

450 x 450 WALL TILE

REV: A
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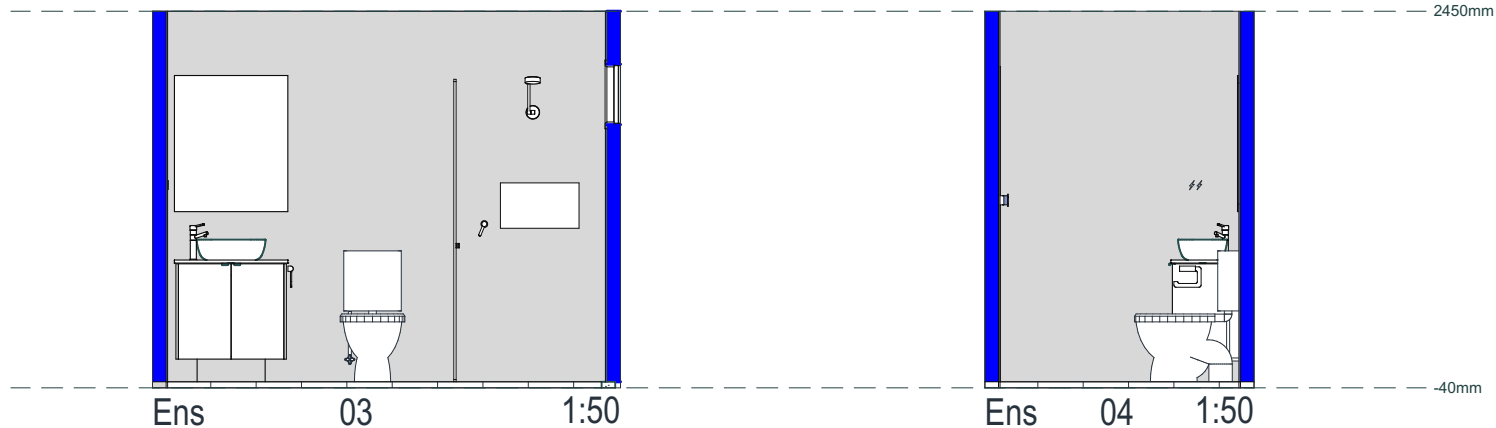
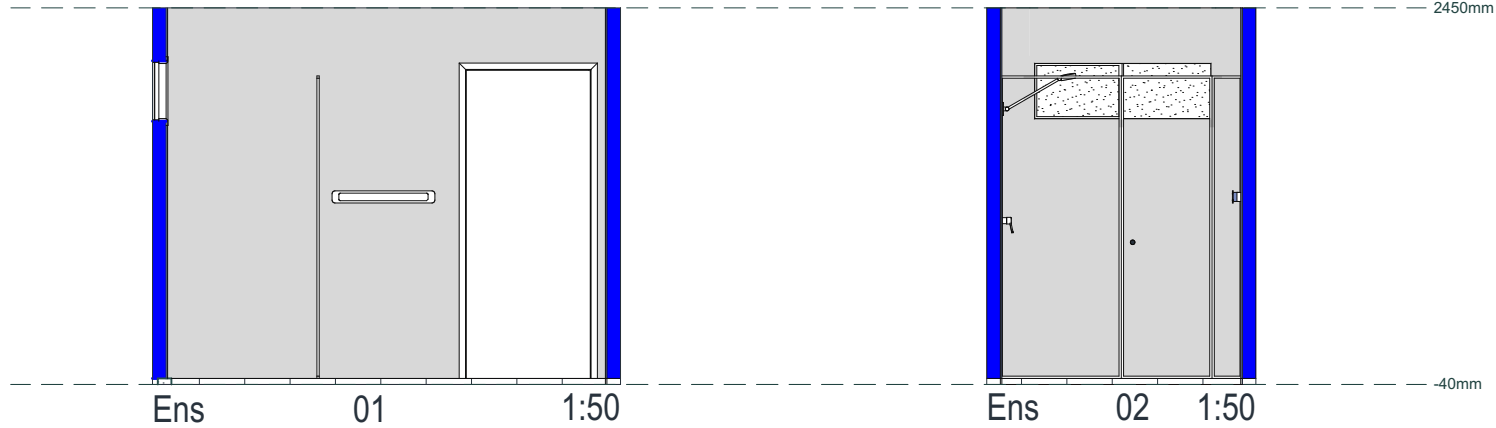
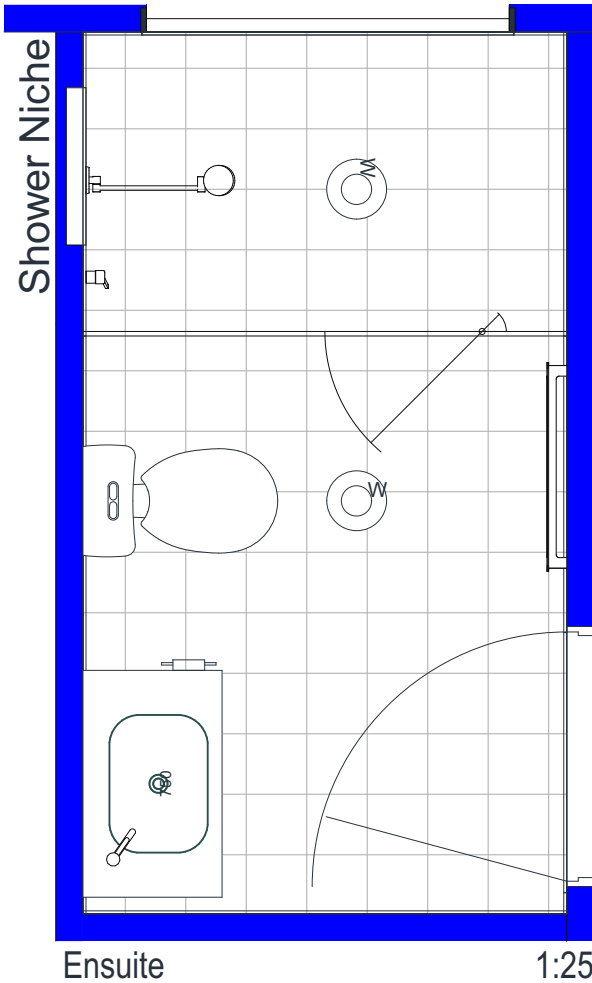
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SILVERWOOD - 7SG
Traditional

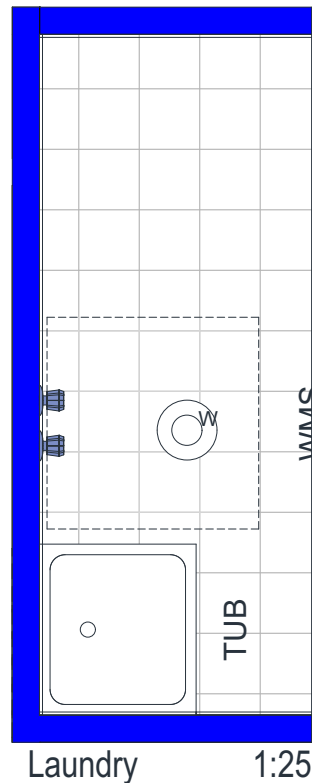
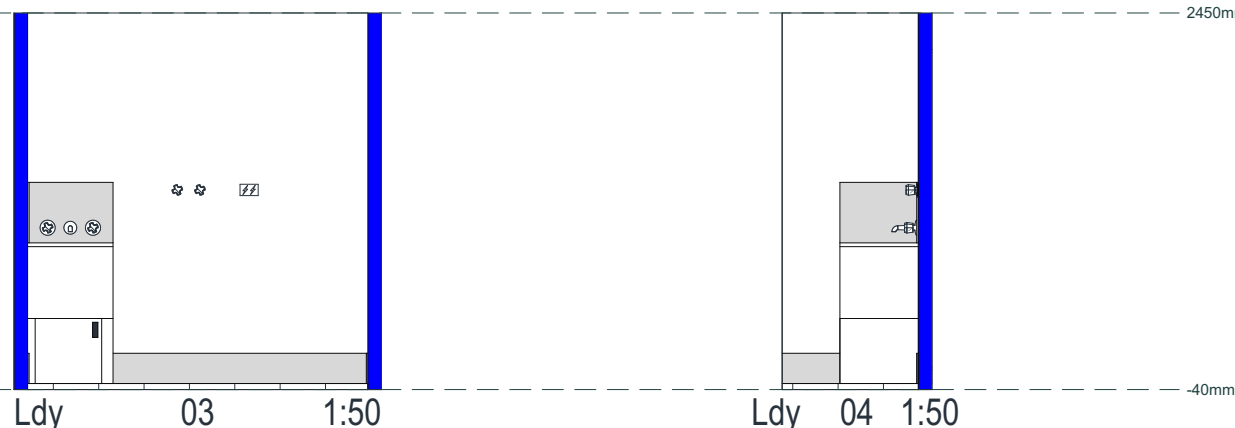
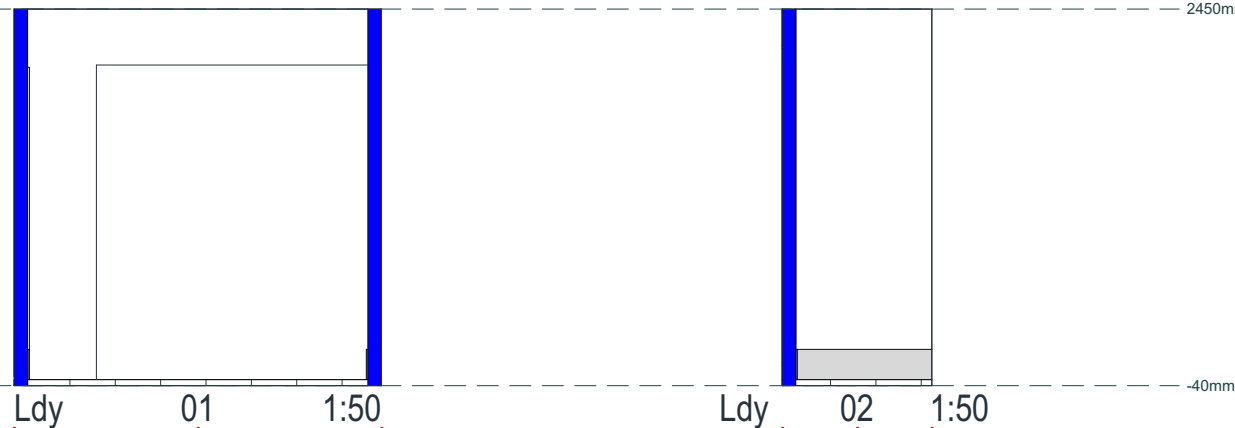
Site Address
Allam Lifestyle Communities
Lot ## Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS	Tile Specification			Last Amended	Scale
	GENERAL:	0	01.01.21	JHA	REFER TO DETAIL
	HOUSE:	0	01.01.21	Job No	Sheet
			Revision/Date/Version	Serial	
			A.V22	1SW700O000	12345 01.19

ENSUITE



LAUNDRY

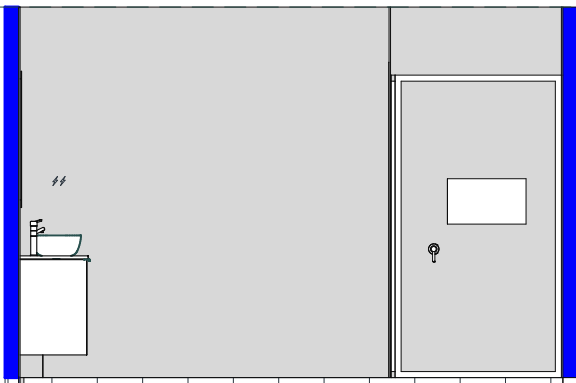


REV: A
MASTER

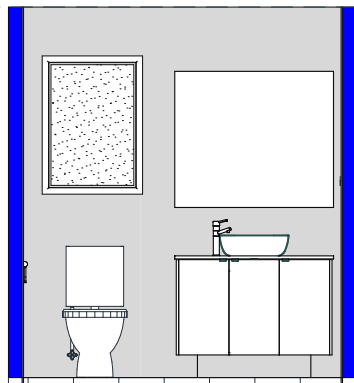
Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:
Refer To Job Specific Details & Colour Application Sheets For Tile Layout/Application.

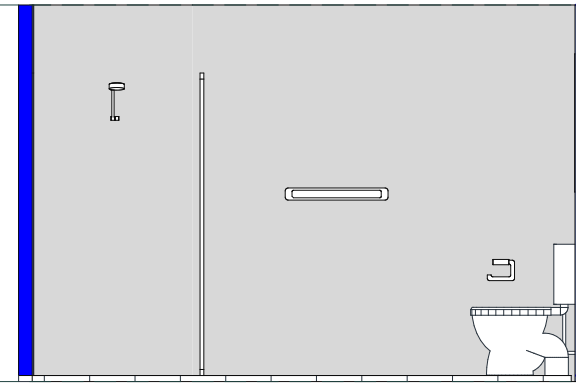
BATHROOM



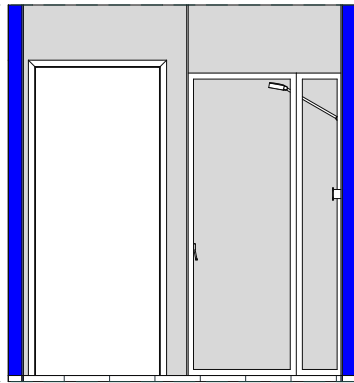
Bath 01 1:50



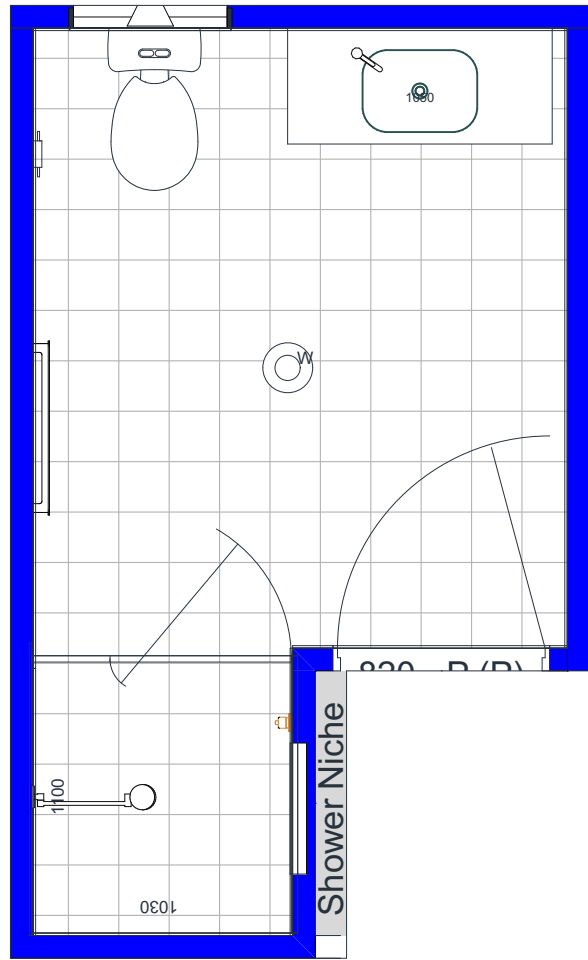
Bath 02 1:50



Bath 03 1:50



Bath 04 1:50

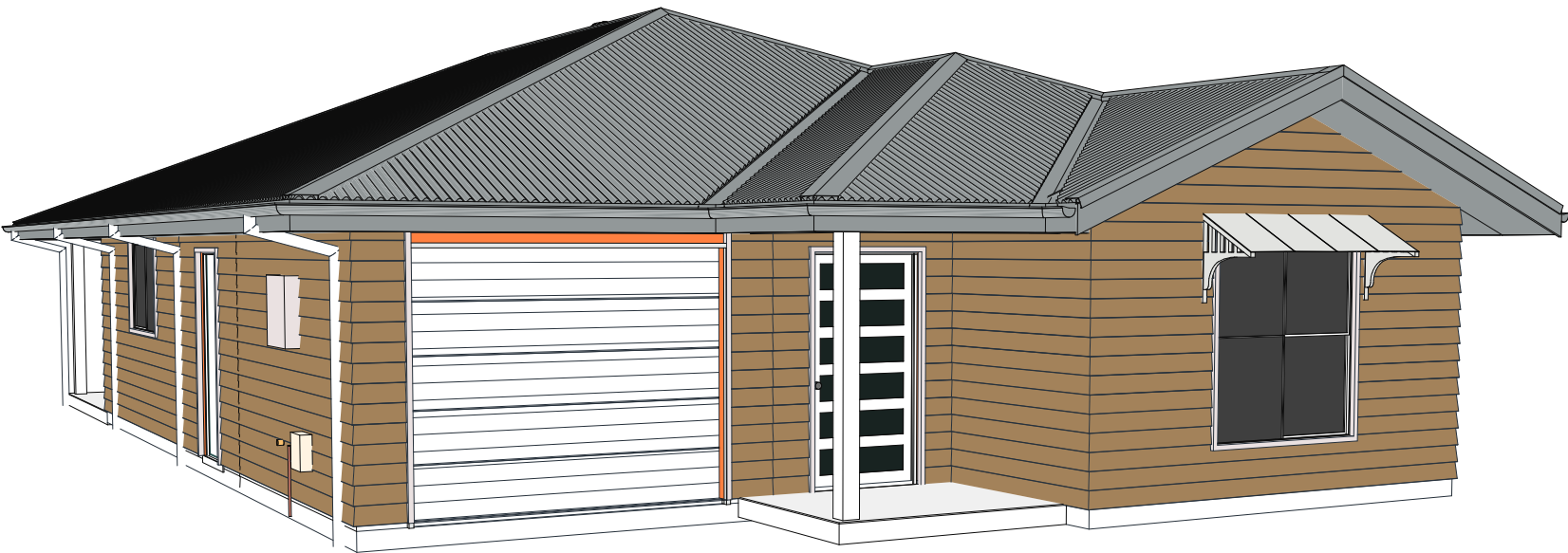


Bath 1:30

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Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:
Refer To Job Specific Details &
Colour Application Sheets For
Tile Layout/Application.



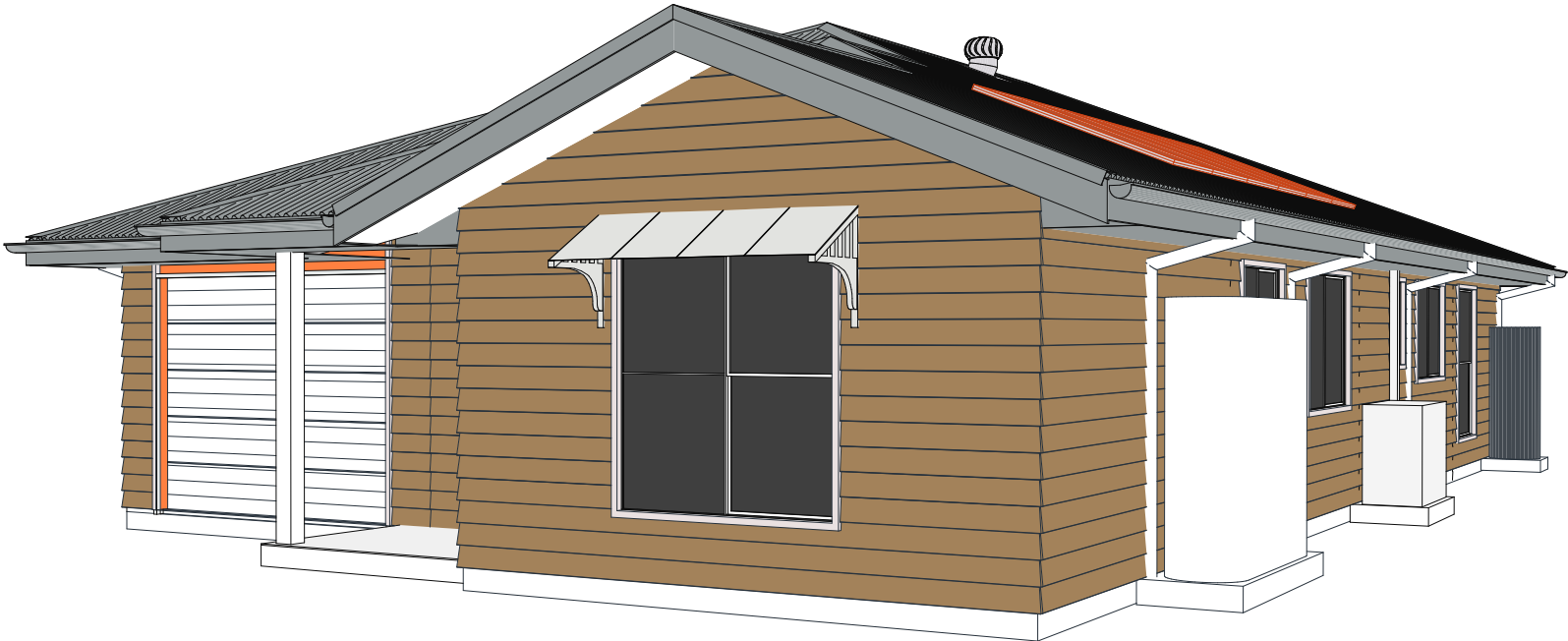
Finishes Legend

External Scheme -

Cladding :
Surfmist (Linea)

Post :
Shale Grey

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WARNING
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR



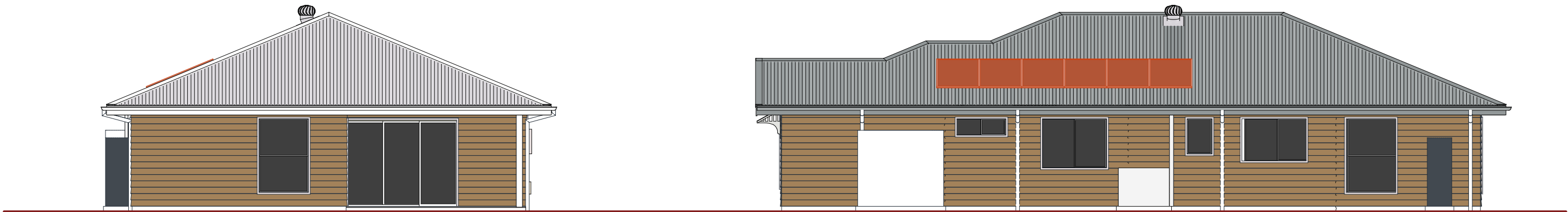
Finishes Legend

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WARNING
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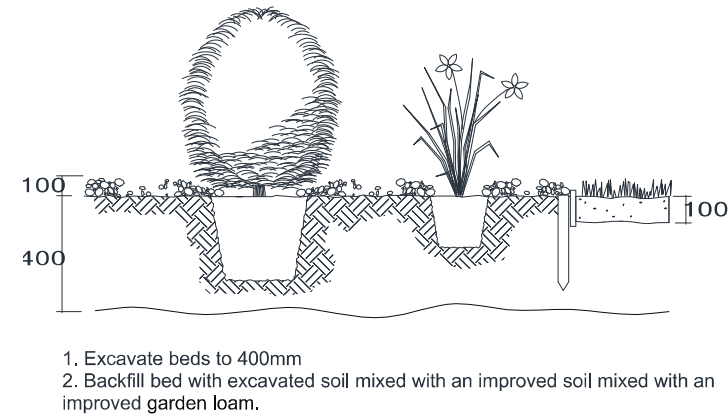
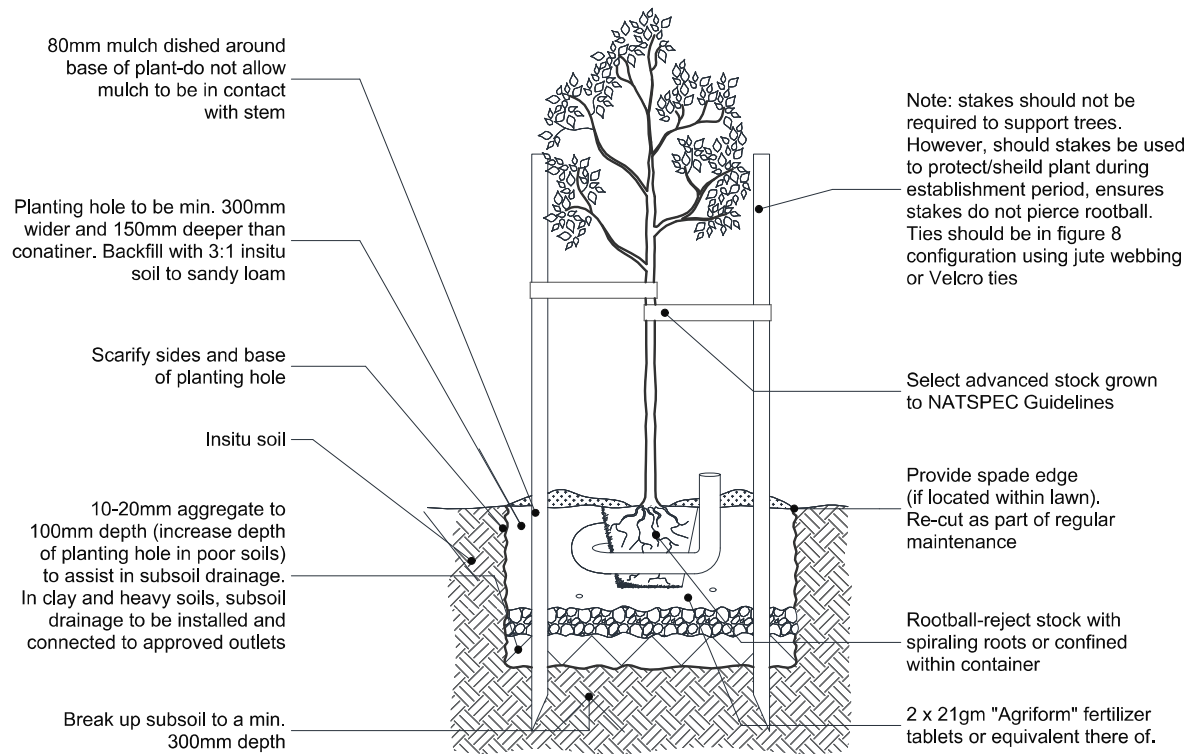
Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
www.allam.com.au

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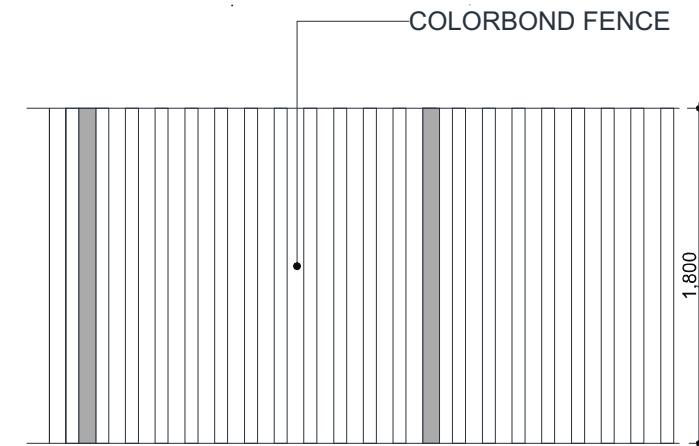
SILVERWOOD - 7 S G
Traditional

Site Address
Allam Lifestyle Communities
Lot ## Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS		Colour Perspectives			Last Amended JHA	Scale REFER TO DETAIL
GENERAL:	0	01.01.21	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	0	01.01.21	A.V22	1SW700O000	12345	01.25

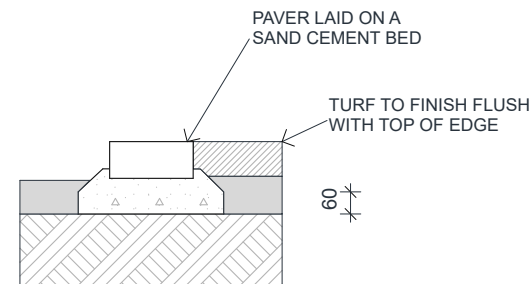


PLANTED BEDS



NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

FENCE - TYPE



GARDEN EDGE DETAIL

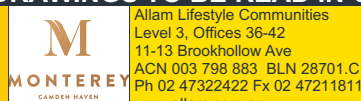
TREE PLANTING FOR ADVANCED STOCK

LANDSCAPE SPECIFICATIONS

- TURF AREA:**
- Turf Underlay: 100mm thick layer of screened top soil
 - Turf: Kikuyu turf
- GARDEN AREA:**
- Soil: 300mm thick layer of premium garden mix
 - Mulch: 75mm thick layer of 10mm pine bark mulch
 - Plants per site average:
 - 2 x 25L pot size trees
 - 20 x 300mm pot size plants
 - 20 x 200mm pot size plants
 - 15 x 140mm pot size plants
- Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;.
- 15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.
- 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant
- Ties shall be 50mm wide hessian webbing.
- BRICK EDGE:**
- 50mm thick charcoal Havenbrick on sand and cement mix
- PEBBLE AREA:**
- Pebble underlay : 100mm – 200mm thick layer of consolidated road base
 - Pebble : 75mm thick layer of 20mm Nepean river pebble

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WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960



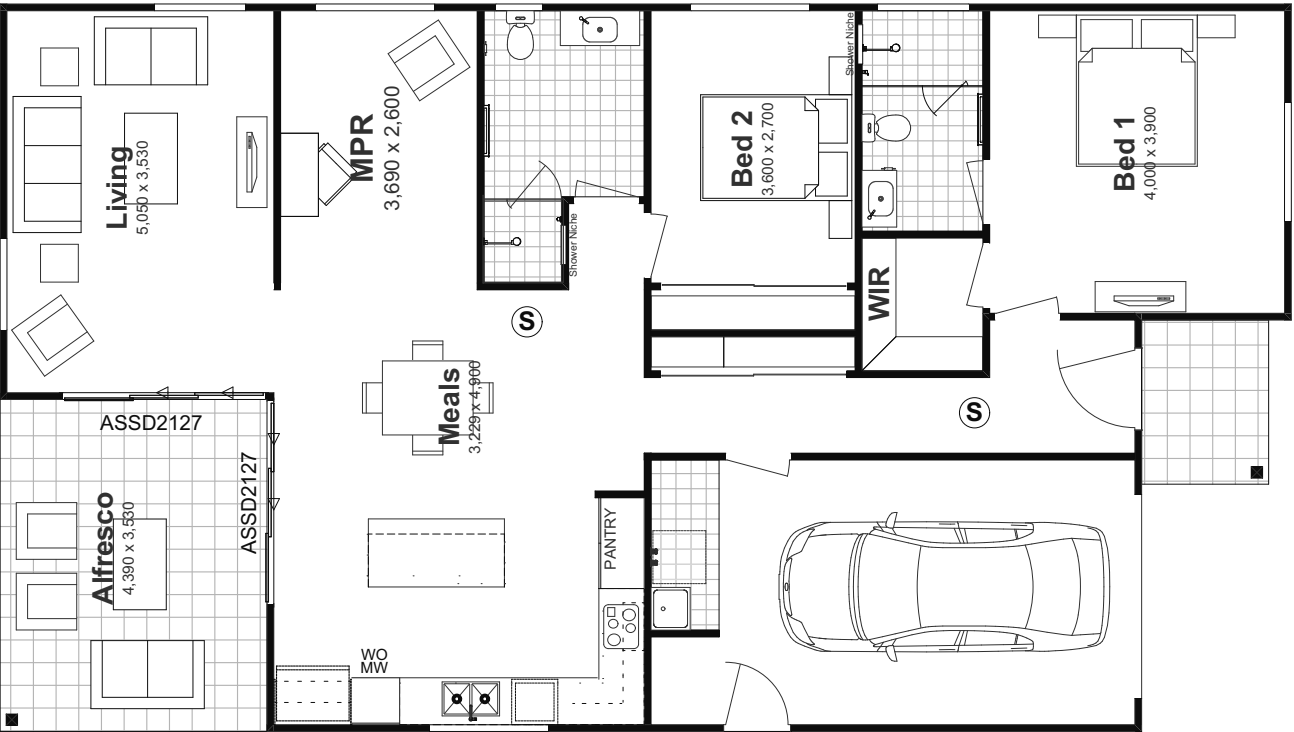
ALLAM LIFESTYLE COMMUNITIES
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SILVERWOOD - 7SG
Traditional

Site Address
Allam Lifestyle Communities
Lot ## Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS	Landscape Details				Last Amended	Scale
	Revision/Date/Version				JHA	REFER TO DETAIL
	GENERAL:	0	01.01.21		Job No	Sheet
HOUSE:	0	01.01.21	A.V22	1SW7000O000	12345	01.27



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